Board of Zoning Adjustment
District of Columbia
CASE NO.19593
EXHIBIT NO.43

DISTRICT OF COLUMBIA GOVERNMENT
OFFICE OF THE SURVEYOR

Washington, D. C. ...., 19...

Plat for Building Permit of ....

Scale: 1 inch = ... feet   Recorded in Book .... page ......

Receipt No. ....

Furnished to ....

.... for Surveyor, D.C.

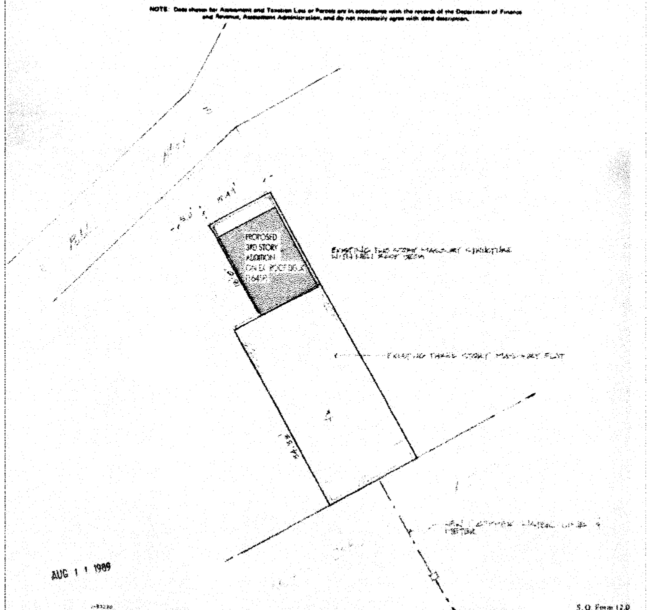
By: ....

I hereby certify that all existing improvements shown hereon, are completely dimensioned, and are correctly platted; that all proposed buildings or construction, or parts thereof, including covered porches, are correctly dimensioned and platted and agree with plans accompanying the application; that the foundation plan as shown hereon is drawn, and dimensioned accurately to the same scale as the property lines shown on this plat; and that by reason of the proposed improvements to be erected as shown hereon the size of any adjoining lot or premises is not decreased to an area less than is required by the Zoning Regulations for light and ventilation; and it is further certified and agreed that accessible parking area where required by the Zoning Regulations will be reserved in accordance with the Zoning Regulations, and that this area has been correctly drawn and dimensioned hereon. It is further agreed that the elevation of the accessible parking area with respect to the Highway Department approved curb or alley grade will not result in a rate of grade along centerline of driveway at any point on private property in excess of 20% for single family dwellings or flats, or in excess of 12% at any point for other buildings. (The policy of the Highway Department permits a maximum driveway grade of 12% across the public parking and the private restricted property).

Date ....

.... (Signature of owner or his authorized agent)

NOTE: Data shown for Assessment and Taxation Lots or Parcels are in accordance with the records of the Department of Finance and Revenue, Assessment Administration, and do not necessarily agree with deed description.



CONTACT INFORMATION

OWNER:
ED & NAOMI GREEN
1226 N. CAROLINA AVE NE
Washington DC 20002
TEL:

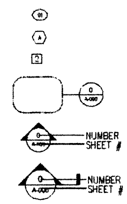
STRUCTURAL ENGINEER:
AVAC ENGINEERING
2110 SEMINARY RD
SILVER SPRING, MD 20910
TEL: 301 565 0543

LIST OF DRAWINGS

A0.1 COVER SHEET

A1.0 DEMO, FLOOR PLAN, ELEV & SECTIONS (1/4" = 1'-0", 1/2"=1'-0")

SYMBOLS



DOOR NUMBER

WINDOW NUMBER

WALL TYPES

PLAN SECTION DETAILS

NUMBER SHEET # ELEVATION

NUMBER SHEET # SECTION

DESIGN PARAMETERS

GROUND SNOW LOAD: 30 PSF (1.4 KN/M^2)

WIND SPEED: 90 MPH (40 M/S)

SEISMIC DESIGN CATEGORY: B

WINTER DESIGN TEMP: 13 DEGREE F (-10.6 C)

ICE SHIELD UNDERLAYMENT: REQUIRED

FLOOD HAZARDS: JULY 2, 1979

AIR FREEZING INDEX: 300

MEAN ANNUAL TEMP: 55 DEGREES F (12.8 C)

FROST LINE DEPTH: 24" (610 CM)

SUBJECT TO DAMAGE FROM:
WEATHERING - SEVERE
TERMITE - MODERATE TO HEAVY
DECAY - SLIGHT TO MODERATE

PROJECT DATA

PROJECT NAME: 1226 N. CAROLINA AVE NE BATHROOM AND ROOF DECK RENOVATION

PROJECT ADDRESS: 1226 N. CAROLINA AVE, NE, WASH., DC 20002

LOT: 4
SQUARE: 1012

PROPOSED PROJECT: ROOF DECK & BATHROOM RENOVATION

ZONING:R-4

LOT AREA:
MIN REQUIRED: 1800SF
PROVIDED: NA

BUILDING HEIGHT:
MAX ALLOWABLE: 3 STORIES/40FT
PROVIDED: 3 STORIES

LOT OCCUPANCY:
MAX ALLOWABLE: 60%
PROVIDED: NA

SET BACK: REQD: PROVIDED:
REAR: 20 FT NA

CODE:

BLDG CODE EDITION: 2013 DCMR 12
2012 IRC
2012 IFGC
2012 IMC
2012 IPC

NFPA NATIONAL ELEC. CODE 2011

USE GROUP: SINGLE FAMILY ROW HOUSE

FINISH SCHEDULE

FINISH	DESCRIPTION	MANUFACTURER	SPECIFICATION/ COLOR	NOTES
F1	HARDWOOD FLOORING			TO MATCH EXIST.
F2	TILE		12"X24"	TO BE SELECTED BY OWNER
B1	WD BASE	T.B.D.	4" X 1/2"	
B2	TILE BASE	T.B.D.		TO BE SELECTED BY OWNER
W1	MATTE PAINT	T.B.D.	CLOUD WHITE BY BENJAMIN MOORE OR EQ.	
W2	TILE	T.B.D.	3"X6" SUBWAY	TO BE SELECTED BY OWNER
C1	MATTE PAINT	T.B.D.	CLOUD WHITE BY BENJAMIN MOORE OR EQ.	

F#|B#|W#|C# — FLOORING, BASE, WALL, CEILING

* SEE FLOOR PLANS FOR FINISH

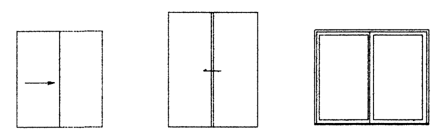
DOOR SCHEDULE

DOOR NO.	TYPE	DOOR SIZE			FINISH	FRAME	HDWARE	LOCATION	REMARKS
01	A	2'-4"	6'-8"		PT	WOOD		MASTER BATH	DOOR TO MATCH EXIST.
02	A	2'-4"	6'-8"		PT	WOOD		POWDER	DOOR TO MATCH EXIST.
03	B	2X 3'-2"	8'-0"	3/4"	TUNG OIL			STUDY	
04	C	8'-0"	8'-0"						

HARDWARE:

	Passage/Latch	Lock & Latch	Magnetic Latch	Flush Pull	Privacy Set	Edge Pull	Kick Plates	Stop	Threshold	Weatherstriping	Dummy Passage	Roller Catch	LOCATION/ REMARKS
HW-1				●	●	●							BEDROOM
HW-2				●	●	●			●				BATHROOM

DOOR TYPES

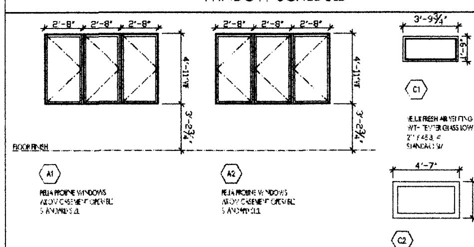


TYPE A
WD FRAME
WD CORE
PAINTED
SLIDING POCKET DOOR

TYPE B
WD FRAME
11 PLIES - GRADE PLYWOOD DOOR
CLEAR OIL BASE SEALANT
SLIDING DOOR
HAFELE 407.11.012
ALUM EXTRUDED DOUBLE UPPER TRACK
HAFELE 407.13.906
STEEL HANGER SINGLE RUNNING GEAR

TYPE C
PELLA CONTEMPORARY
SLIDING PATIO DOOR

WINDOW SCHEDULE



A1 — PELLA PROLINE WINDOWS
AWNING CASEMENT OPERABLE
STANDARD SIZE

A2 — PELLA PROLINE WINDOWS
AWNING CASEMENT OPERABLE
STANDARD SIZE

C1 — VELUX FRESH AIR VENTING SKYLIGHT
W/ TEMPERED GLASS LOW E
2" FLASH, 4
STANDARD SIZ

C2 — VELUX FCM 1405
LOW E INSULATED GLASS
1 ...

GENERAL CONDITIONS

1. PERFORM ALL WORK IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE LOCAL JURISDICTION. UNLESS OTHERWISE AGREED UPON, THE GENERAL CONTRACTOR IS RESPONSIBLE FOR SECURING ALL BUILDING PERMITS AS REQUIRED FOR WORK HE/SHE IS TO PERFORM AND WILL RETAIN AND PAY FOR ALL REQUIRED INSPECTIONS DURING THE COURSE OF WORK.

2. UNLESS OTHERWISE AGREED UPON, GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION SHALL BE A.I.A. DOCUMENT A201, 1997.

3. THE CONTRACTOR SHALL VISIT THE SITE AND BE AWARE OF EXISTING CONDITIONS TO THE EXTENT AND INFLUENCE OF THE WORK.

4. POINT OUT TO THE ARCHITECT ANY DISCREPANCIES FOUND IN THE PLANS, DIMENSIONS, EXISTING CONDITIONS, OR ANY APPARENT ERROR IN CLASSIFYING OR SPECIFYING A PRODUCT OR ITS USE PRIOR TO THE COMMENCEMENT OF WORK. ADDENDA WILL BE ISSUED AS NECESSARY AND WILL BECOME PART OF THE CONTRACT DOCUMENTS. FOR THOSE DISCREPANCIES NOT BROUGHT TO THE ATTENTION OF THE ARCHITECT, IT WILL BE ASSUMED THE CONTRACTOR HAS BID THE MORE EXPENSIVE METHOD OF CONSTRUCTION.

5. ANY DAMAGE TO NEW OR EXISTING CONSTRUCTION CAUSED BY THE CONTRACTOR'S NEGLIGENCE OR INADEQUATE PROTECTIVE OR SECURITY MEASURES DURING CONSTRUCTION ARE TO BE CORRECTED AT THE CONTRACTOR'S EXPENSE.

6. THE CONTRACTOR FOR A PERIOD OF ONE YEAR FROM THE DATE OF COMPLETION AND ACCEPTANCE BY OWNER, SHALL ADJUST, REPAIR OR REPLACE AT NO COST TO THE OWNER ANY ITEM OF EQUIPMENT, MATERIAL, OR WORKMANSHIP FOUND TO BE DEFECTIVE, INCLUDING OR AFFECTED WITHIN THE SCOPE OF THE CONTRACT.

7. DO NOT SCALE DRAWINGS FOR DIMENSIONS AND/ OR SIZES; WRITTEN DIMENSIONS GOVERN. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD MEASURING EXISTING CONDITIONS PRIOR TO BEGINNING WORK, AND PERIODICALLY DURING THE PROGRESS OF WORK TO VERIFY ALL CRITICAL DIMENSIONS. ANY DEVIATION FROM DIMENSIONS INDICATED ON DRAWINGS IS TO BE APPROVED BY THE ARCHITECT PRIOR TO CONSTRUCTION.

8. SUBMIT SHOP DRAWINGS FOR FABRICATION AND SUBMITTALS/SAMPLES FOR SPECIFICATION TO THE ARCHITECT FOR APPROVAL BEFORE PROCEEDING WITH ALL ITEMS. PROVIDE ARCHITECT WITH A LIST OF ALL ITEMS TO BE SUBMITTED PRIOR TO BEGINNING CONSTRUCTION.

9. NOTIFY ARCHITECT FOR REVIEW OF PARTITION CHALK LINE LAYOUT FOR DESIGN INTENT. DO NOT PROCEED WITH INSTALLATION OF STUDS UNTIL LAYOUT IS APPROVED BY ARCHITECT. COORDINATE AND VERIFY CONDITIONS WITH FINAL SYSTEMS FURNITURE AND EQUIPMENT SELECTION TO ENSURE PROPER FIT. IMMEDIATELY INFORM ARCHITECT IF ANY CONFLICTS ARE FOUND. DESIGN INTENT REVIEW DOES NOT RELEASE CONTRACTOR FROM THE RESPONSIBILITY OF MAINTAINING CRITICAL DIMENSIONS.

10. CHANGES IN THE WORK SHALL BE INITIATED THROUGH CONSTRUCTION DIRECTIVES. CONTRACTOR SHALL NOT PROCEED WITH EXECUTION OF CHANGES WITHOUT WRITTEN APPROVAL OF CHANGE ORDER NOTING CHANGES TO CONTRACT PRICE AND TIME BY THE OWNER.

11. REVIEW DOCUMENTS, VERIFY DIMENSIONS, CEILING TO SLAB CLEARANCES AND ALL FIELD CONDITIONS AND CONFIRM THAT WORK IS BUILDABLE AS SHOWN. REPORT ANY CONFLICT OR OMISSIONS TO THE ARCHITECT FOR CLARIFICATION PRIOR TO PERFORMING ANY WORK IN QUESTION.

12. SUBMIT REQUESTS FOR SUBSTITUTIONS, REVISIONS OR CHANGES TO ARCHITECT FOR REVIEW PRIOR TO PURCHASE, FABRICATION OR INSTALLATION.

13. COORDINATE WORK WITH BUILDING OWNER INCLUDING SCHEDULING TIME AND LOCATIONS FOR DELIVERIES, BUILDING ACCESS, AND USE OF BUILDING FACILITIES. MINIMIZE DISTURBANCE OF BUILDING FUNCTIONS AND OCCUPANTS.

14. MAINTAIN WORK AREAS SECURE AND LOCKABLE DURING CONSTRUCTION.

ARCHITECTURAL NOTES

1. REVIEW GENERAL CONDITIONS NOTES BEFORE COMMENCING WORK.

2. PARTITION LOCATIONS, DIMENSIONS AND TYPES, DOOR AND WINDOW LOCATIONS MUST BE AS SHOWN ON ARCHITECTURAL PLAN. IN CASE OF CONFLICT, NOTIFY ARCHITECT FOR WRITTEN CLARIFICATION PRIOR TO PROCEEDING WITH CONSTRUCTION. ARCHITECTURAL PLAN SUPERSEDES OTHER PLANS.

3. PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE, UNLESS NOTED OTHERWISE. DO NOT ADJUST DIMENSIONS WITHOUT WRITTEN INSTRUCTIONS FROM THE ARCHITECT.

4. MAKE NEW GYPSUM BOARD CONSTRUCTION ADJOINING EXISTING CONSTRUCTION IN THE SAME PLANE, FLUSH WITH NO VISIBLE JOINTS UNLESS NOTED OTHERWISE.

5. GYPSUM BOARD FINISHING: COMPLY WITH REQUIREMENTS OF GYPSUM ASSOCIATION GA-216 RECOMMENDED SPECIFICATION FOR THE APPLICATION AND FINISHING OF GYPSUM BOARD AND WITH THE MANUFACTURER'S PRINTED INSTRUCTIONS AND SPECIFICATIONS ALWAYS USING THE MORE STRINGENT OF THE TWO WHEN THERE IS A DISCREPANCY.

6. PROVIDE CORNER BEADS ALONG FULL LENGTH OF OUTSIDE CORNERS AND 'J' BEADS ALONG ENDS OF GYPSUM BOARD UNLESS OTHERWISE NOTED. TAPE, SPACKLE, AND SAND JOINTS. PROVIDE A SMOOTH FINISH CONDITION READY FOR PAINT AND FINISH MATERIAL APPLICATION UNLESS OTHERWISE NOTED.

7. FOR EXPOSED WOOD PROVIDE FINISH GRADE HARDWOOD, FILLED, SANDED, PRIMED AND READY FOR SCHEDULED FINISH.

8. FOR TYPICAL DOOR HARDWARE HEIGHT REFER TO DETAIL 1/A0.4.

9. PROVIDE BLOCKING IN WALLS AS REQUIRED TO INSTALL ALL DOORS, WALLS, MILLWORK, ACCESSORIES AND FURNITURE.

10. ALL EXPOSED WALL SURFACES TO BE PATCHED, TREATED AND FINISHED WITH APPROPRIATE FINISH.

11. UNDERCUT DOORS TO CLEAR TOP OF FLOOR FINISHES BY 1/4" UNLESS OTHERWISE NOTED. COORDINATE DOOR SWING WITH DOOR STOP TO ENSURE PROPER CONTACT.

wakako tokunaga architecture
509 albany avenue
takoma park, md 20912
202 320 3867

1226 N. CAROLINA AVE NE

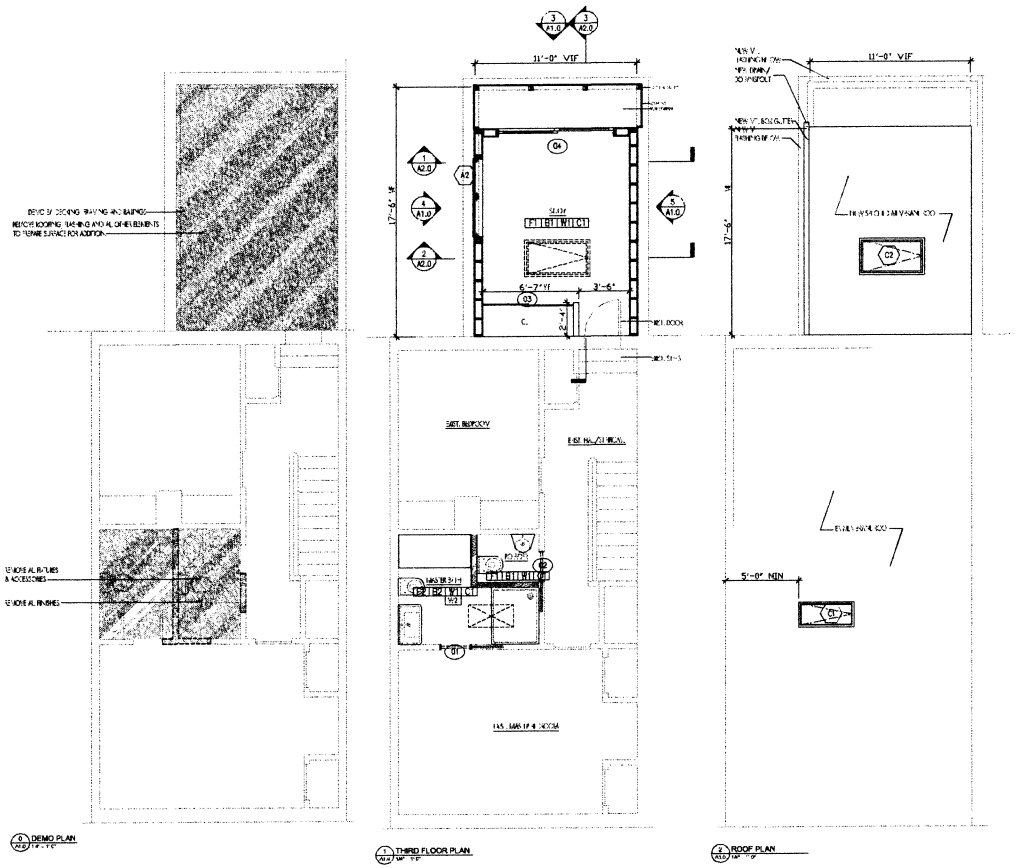
1226 N. CAROLINA AVE, NE
WASHINGTON, DC

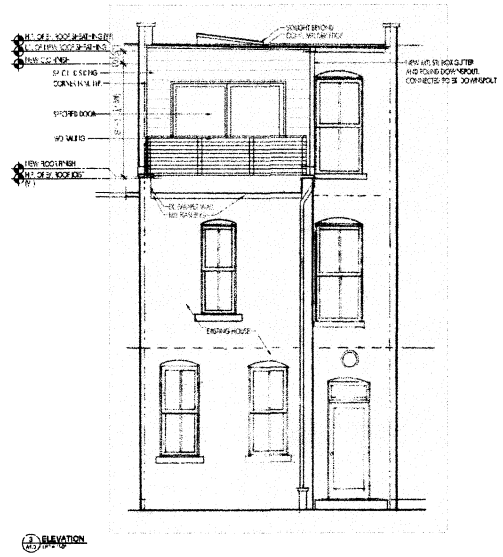
REVIEW	10/11/2017
PERMIT	-
BID	-
CD	-

REGISTRATION

COVER SHEET

A0.1





wakako tokunaga architecture
509 albany ave.
takoma park, maryland

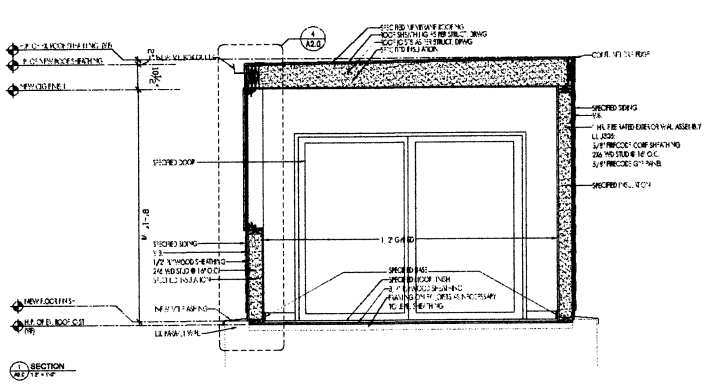
1226 N. CAROLINA AVE NE

REVIEW	10/11/17
PERMIT	-
BID	-
DRAWN BY	WT

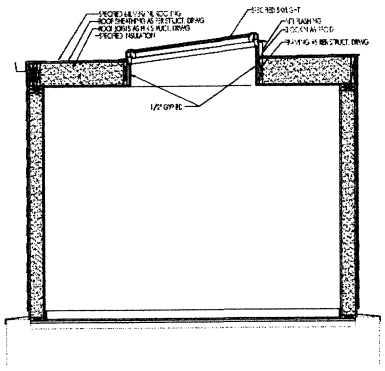
REGISTRATION

FLOOR PLANS & ELEV

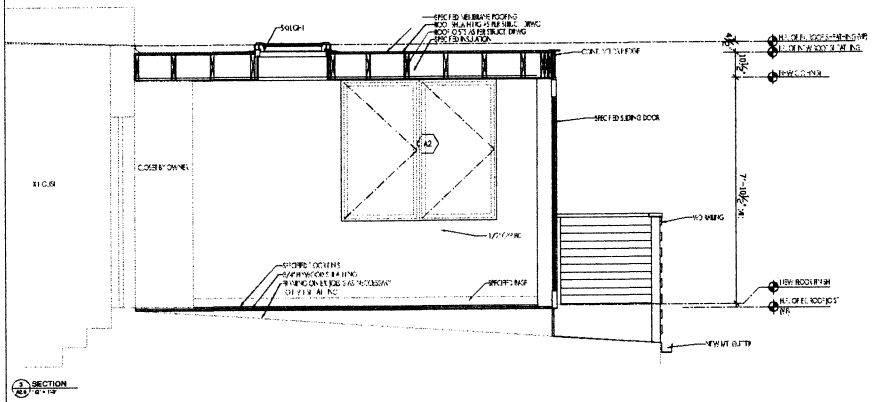
A1.0



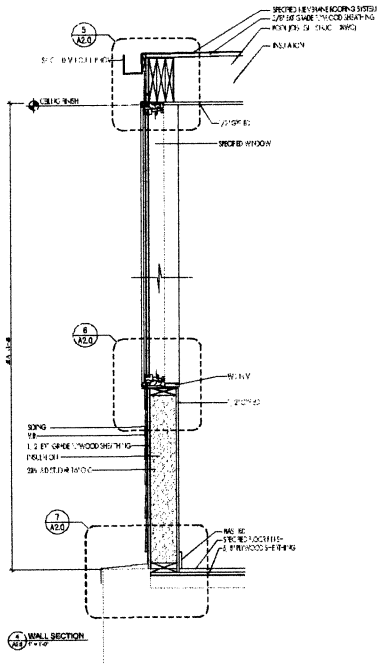
1 SECTION



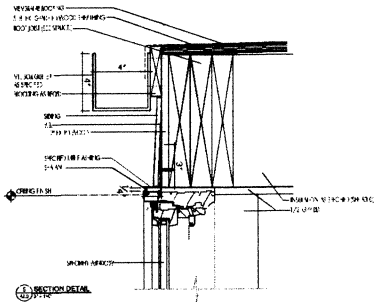
2 SECTION



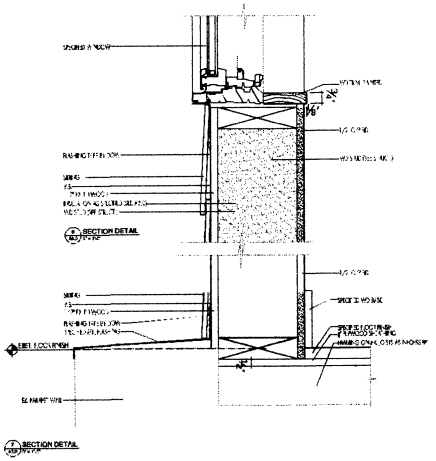
3 SECTION



4 WALL SECTION



5 SECTION DETAIL



6 SECTION DETAIL

7 SECTION DETAIL

THERMAL ENVELOPE NOTES

ROOF: R-49
2" OF CLOSED CELL SPRAY FOAM INSULATION (R-6 PER INCH)
9.5" OF DENSED CELLULOSE (R-3.8 PER INCH)

WALLS: R-25.3
2" OF CLOSED CELL SPRAY FOAM INSULATION (R-6 PER INCH)
3.5" OF DENSED CELLULOSE (R-3.8 PER INCH)

FENESTRATION: PELLA WINDOWS AND DOORS (U-FACTOR 0.29)

* THERMAL ENVELOPE AND AIR BARRIER ARE CONTINUOUS
* INSULATION IN PROPOSED ADDITION IN ACCORDANCE WITH TABLE N1102.4.2 OF IRC 2015.

SPECIFICATIONS AND NOTES

WALL DRIP EDGE: [illegible] ALUMINUM DRIP EDGE [illegible] 30 LB [illegible]
WALL FLASHING: [illegible] ALUMINUM FLASHING [illegible]
FLASHING AROUND WINDOWS: [illegible] ALUMINUM FLASHING [illegible]
SIDING CONNECTIVE: [illegible] ALUMINUM CONNECTIVE [illegible]
WALL [illegible]
SIDING: [illegible] JAMES HARDIE 8.25"
ROOFING: [illegible]
GUTTER: GALVANIZED [illegible]
DOWNSPOUT: GALVANIZED [illegible]

waiako tokunaga architecture
509 albany ave.
takoma park, maryland

1226 N. CAROLINA AVE NE

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BID	–
DRAWN BY	WT

REGISTRATION

BUILDING SECTIONS

A2.0

Structural Notes

1. All work and materials to comply with the requirements of the 2012 IBC codes with the DCMR 12A-2013 Supplement.
2. Codes: the following design standards are applicable by reference:
   ACI 530-11/ASCE 5-11 Building Code Requirements for Masonry Structures.
   AITC - Timber Construction Manual - fifth Ed.
   ACI 318-11 Building Code Requirements for Reinforced Concrete
   AISC - Manual of Steel Construction Ninth Ed.
3. Foundations: footings and slab on grades are designed to bear on native soil type SM or SC with an allowable bearing pressure of 1500 psf. A qualified soil-bearing inspector prior to placement of concrete shall verify all bearing values.
4. Structural steel:
   A. All structural steel, including detail material shall conform to ASTM A572 Fy = 50ksi, U.N.O.
   B. All structural tubing shall conform to ASTM A500, grd.B
   C. All steel pipe shall be ASTM A53, type E or S, grade B
   D. All welders shop and field, shall be certified. Use E70xx electrodes only.
   E. All steel exposed to weather and exterior masonry support shall receive one shop coat of corrosion-inhibiting primer.
   F. Detailing, fabrication and erection shall be in accordance with AISC. Adequately brace all steel against lateral loads during erection.
   G. All exterior structural steel shall receive rust preventative paint.
   H. Connections:
   I. All beam connections shall be simple shear connections, U.N.O. Where no reaction is provided, the beam shall be assumed to carry 120 % of the allowable uniform load in Kips for beams laterally supported, as given in the AISC steel construction manual.
   II. Except as noted, all fasteners shall be 3/4" diameter ASTM A325 bolts, designed to act in bearing type connections with threads included.
5. Lumber:
   A. Lumber shall be SPF #2 with a min. Fb = 875psi Min. Fv = 135psi and min. E = 1,400,000psi.
   B. LVL and PSL shall have a min. Fb = 2850psi; Fv = 285psi; E = 2,000,000psi.
   C. Floor decking shall be ¾" APA rated decking. Roof decking shall be ⅝" APA rated decking. Wall sheathing shall be 7/16"OSB. Glue and nail roof and floor decking to joists and rafters.
   D. Exterior wood walls shall be 2x6 studs at 24" o.c. and interior wood walls shall be 2x4 studs at 24" O.C. with a single top plate and bottom plate. Provide solid blocking at the midheight of each wall and at a minimum of 48" O.C. vertically. All studs, joists and rafters shall align.
   E. Provide double joists under all walls that run parallel to floor framing.
   F. Nail all multiple members together per the manufacturer's recommendations and at a minimum use 2-10d nails at 6" O.C. staggered.
   G. Provide bridging at center of all joist spans Exceeding 8'-0" and at 1/3 points of all joist spans exceeding 16'-0". Provide solid blocking at all bearing points on top of walls or beams.
   H. Provide solid blocking below all wood posts.
   I. All posts shall have Simpson Cap and Base Plates typ.
   J. All joists shall have Simpson Hangers where applicable.
   K. Glue all multiple studs together. Nail together with 2-10d nails at 3" O.C. Stagger the sides of the studs that the nails are driven from.
   L. All lumber in contact with masonry or concrete or within in 8" of soil shall be pressure treated. All lumber to conform to IRC R319 for protection against corrosion and termite damage.
   M. All lumber shall be kiln dried. Store lumber on site in such a manner as to prevent the seepage of water into the wood.
   N. Wood Lintels shall be as follows:
      Opening ≤ 3'-0" - 2-2x8
      3'-0" < Opening ≤ 5'-0" - 2-2x8
      5'-0"< Opening ≤ 8'-0" - 2-2x10
      Greater than 8'-0" - See plans
6. Fasteners:
   A. All prefabricated angles, bearing plates, and joist hangers shall be installed per the manufacturer recommendations.
   B. Follow the manufacturer recommendations for setting epoxy bolts.
   C. Expansion bolts shall be rawl power studs.
7. Masonry:
   A. Masonry construction shall be in conformance with the applicable sections of ACI 530-11/ASCE5-11, "Specifications for Masonry Structures."
   B. Concrete masonry units shall be hollow load bearing units (ASTM C90) grade n-1 with a net strength of 2000psi and F'm - 1500psi.
   C. All joints to be filled solid with mortar.
   D. Mortar to comply with ASTM C270 (type M or S).
   E. Provide corrugated masonry ties between brick facia and wood walls or cmu walls at 16" O.C. in each direction.
   F. Provide 9ga truss style joint reinforcement @ 16" O.C. vertically.
   G. Lintels shall be as follows:
      Opening ≤ 3'-0" - L4x3½ x¼ LLV/ 4" of wall
      3'-0" < Opening ≤ 7'-0" - L6x3½x⅜ LLV/ 4" of wall.
      Opening > 7'-0" - See Plan
8. Cast in place concrete:
   A. Concrete construction shall be in conformance with the applicable sections of ACI 318-11, "Part 3 - Construction Requirements."
   B. Concrete shall have a minimum compressive strength at 28 days of 3000psi, UNO (unless noted otherwise).
   C. All concrete shall be placed with a slump of 4" (±½")
   D. All concrete shall be normal weight, UNO.
   E. All concrete exposed to weather shall have 6% ±1% entrained air.
   F. Contractor shall pour extra concrete to account for the deflection of the formwork to provide a flat finished surface.
   G. Concrete cover for reinforcement shall be:

Columns and beams	1½"
Slabs	¾"
Footings	3"

9. Reinforcement:
   A. Reinforcing bars shall be deformed bars conforming to ASTM A615, grade 60 (Fy = 60ksi)
   B. Welded wire fabric (wwf) shall conform to ASTM a185. Lap edges of wire fabric at least 6" in each direction.
10. Dimensions: The contractor shall field verify all dimensions prior to fabrication of structural components.
11. Coordination: The contractor shall coordinate all sleeves, duct openings and holes between trades. Any conduits or pipes embedded in concrete must be in accordance with ACI 318-11, chapter 6. Where sleeves are closely spaced in a group, the group shall be treated as an opening and reinforced accordingly. Submit drawings showing all opening sizes and locations for the approval by the structural engineer.

Dead Loads:

SPF #2 -	25 PCF
½ Decking -	1.7 PSF
¾" Decking -	2.5 PSF
Asphalt Shingles -	2.5 PSF
Slate Shingles -	15 PSF
½" Drywall -	2.2 PSF
Insulation -	1.5 PSF
Siding -	2.0 PSF
CMU -	87 PCF
Brick -	130 PCF
LIVE LOADS:	
DECK:	40PSF
ATTIC:	20PSF
FLOOR:	40PSF
BALCONY	60PSF
BEDROOM	40PSF
ROOF:	30PSF
WIND LOADS	
BASIC WIND SPEED:	90MPH
WIND LOAD IMPORTANCE FACTOR:	1.0
WIND EXPOSURE FACTOR:	B
WIND DESIGN PRESSURE:	20PSF
SNOW LOADS:	
GROUND SNOW LOAD (PG):	30PSF
FLAT ROOF SNOW LOAD(PF):	30PSF
SNOW EXPOSURE FACTOR (CE):	0.9
SNOW IMPORTANCE FACTOR (I):	1.0
Deflection Limitations:	
Rafters:	L/240
Interior Walls and Partitions:	H/180
Floors and Plastered Ceilings:	L/360
All Other Structural Members:	L/240
Ext. Walls with plaster or stucco finishes:	L/360
Ext. Walls - Wind Loads with Brittle Finishes:	L/240
Ext. walls - Wind Loads with Flexible Finishes:	L/120
SEISMIC DESIGN DATA:	
SEISMIC IMPORTANCE FACTOR (Ie):	1.0
SPECTRAL RESPONSE ACCELERATIONS:	
(Ss):	20.0%
(S1):	8.0%
SPECTRAL RESPONSE COEFFICIENTS:	
(Sds):	33%
(Sd1):	18.7%
SEISMIC DESIGN CATEGORY:	B
SEISMIC SITE CLASSIFICATION:	D
SEISMIC COEFFICIENT (Cs):	0.22
SEISMIC MODIFICATION FACTOR (R):	1.5
BASE SHEAR:	12.3k
ANALYSIS PROCEDURE:	EQUIV. LATERAL FORCE
BASIC SFRS:	ORDINARY PLAIN MASONRY SHEAR WALLS AND LIGHT FRAMED WALLS.

WIND BRACING NOTES:

NO SPECIAL DETAILS ARE REQUIRED LATERAL BRACING SINCE THE HOME IS BRACED BY THE EXISTING MASONRY SHEAR WALLS THAT WILL NOT BE MODIFIED. THE HOMES ON THE BLOCK FORM AN E SHAPED SYSTEM OF WIND RESISTANCE WITH AN OPEN END ON THE EAST SIDE SIMILAR TO LOW RISE SHOPPING CENTERS. THE PARTY WALLS RESIST WIND IN THE EAST/WEST DIRECTION AND FRONT WALL OF THE HOME ACTS AS A PERFORATED SHEAR WALL IN CONJUNCTION WITH THE REST OF THE HOMES ON THE BLOCK TO RESIST NORTH/SOUTH WIND. TO ACCOMPLISH THIS ALL OF THE PARTY WALLS ON THE BLOCK RESIST THE ECCENTRICITY IN THE SYSTEM. THE FLOOR AND ROOF DIAPHRAGMS TRANSFER THE WIND SHEAR TO THE SHEAR WALLS. SEE THE ATTACHED CALCULATION FOR VERIFICATION.

FRAMING NOTES:

1. SEE ARCHITECTURAL DRAWINGS FOR FIRE RATED ASSEMBLIES
2. PROVIDE SQUASH BLOCKING AS NEEDED BELOW ALL POSTS, COLUMNS, AND MULTIPLE STUDS.
3. PLACE A DOUBLE JOIST BELOW ALL PARTITION WALLS THAT ARE PARALLEL TO THE FLOOR JOISTS. ALTERNATELY PLACE SOLID BLOCKING AT 16" O.C. BELOW THE PARTITION WALLS BETWEEN THE TWO ADJACENT JOISTS.
4. EPOXY BOLTS SHALL BE SIMPSON "SET". FOLLOW MANUFACTURES INSTRUCTIONS FOR INSTALLATION AND THE INSTRUCTIONS OF ESR 1772. UNO ALL BOLTS SHALL HAVE 6" EMBEDMENT.
5. CONTRACTOR SHALL PROVIDE TEMPORARY SHORING DURING CONSTRUCTION AS NEEDED FOR THE EXISTING STRUCTURAL ELEMENTS THAT WILL REMAIN.
6. WHEN HANGING THE EXISTING JOISTS FROM THE NEW BEAMS USED OVERSIZED SIMPSON LUS HANGERS. ADD BLOCKING AS NEEDED TO FILL IN THE GAPS.
7. USE TYPE N LIME BASED MORTAR FOR EXTERIOR BRICK WALL APPLICATIONS. MATCH THE COLOR AND JOINT SIZE IN THE NEW WALL TO THE EXISTING WALL. IF NEW BRICKS ARE USED, THEY SHALL BE MATCHED TO THE EXISTING BRICKS FOR COLOR, SIZE, POROSITY AND STRENGTH.
8. ALL STEEL ANGLE LINTELS SHALL BE LONG LEG VERTICAL (LLV). PROVIDE 4" BEARING FOR STEEL ANGLES ON SOLID MASONRY.
9. ALL DECK LUMBER SHALL BE TREATED SOUTHERN PINE #2 LUMBER AND CARRY THE TRADEMARK "SPIB" IDENTIFICATION.
10. ALL DECK LUMBER WITHIN 4'-0" OF THE PROPERTY LINE SHALL BE TREATED WITH "FLAMESTOP II" FIRE RETARDANT SPRAY BY FLAME STOP, INC OF FORT WORTH, TX. FOLLOW THE MANUFACTURES INSTRUCTIONS WHEN APPLYING THE FIRE RETARDANT TO THE LUMBER.
11. WHEN CONNECTING NEW MASONRY TO THE EXISTING MASONRY TOOTH THE NEW WALL INTO THE EXISTING WALL.

FOUNDATION NOTES:

1. THIS IS A RENOVATION THAT DOES NOT CHANGE THE LOADS APPLIED TO THE EXISTING FOUNDATIONS OF THE HOME. THEREFORE NO FOUNDATION WORK IS REQUIRED.

Wind Bracing Calculations

Diaphragm Calculation

Specific Gravity Factor = 0.92; Wind Increase Factor = 1.4

Allowable Load Per Table R2306.2.1(1) (6d Nails) Pa = 185x1.4x0.92 = 238PLF > 180 PLF max Okay

L =	50 ft	b =	15 ft
v =	180 plf	Gt =	77500 pli
A =	123.75 sqin	en =	0.03 in
E =	1.00E+06 psi	Sigma Delta C*X	9.36 in-ft

Delta = 0.62 in = L/ 963

Masonry Shear Wall Design

East/West Wind		**North/South Wind**	
h =	30 ft	h =	30 ft
W =	1000 plf	W =	720 plf
S =	124416 cu-in	S =	457056 cu-in
Dead Load =	31 psi	Dead Load	39 psi
Fb =	58.00 psi	Fb =	58.00 psi
D + Fb	89.1 psi	D + Fb	96.9 psi
0.6 W - M =	270,000 lbs-ft	0.6 W - M	194,400 lbs-ft
Ma =	924,048 lbs-ft	Ma =	3,690,965 lbs-ft

Existing Masonry Shear Walls Okay | **Existing Masonry Shear Walls Okay**

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1226 N. CAROLINA AVE NE

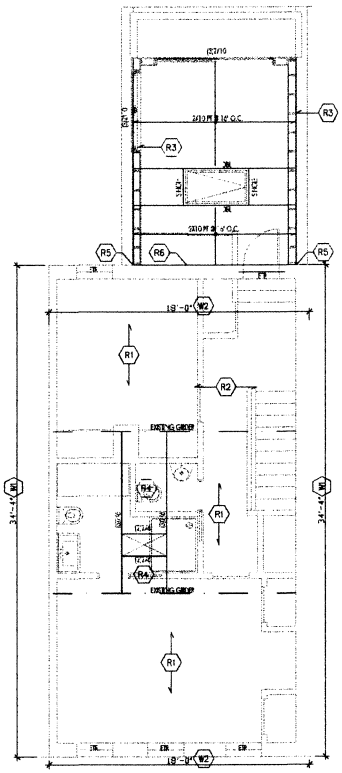
REVIEW	10/11/2017
PERMIT	-
BID	-
DRAWN BY	WT

REGISTRATION

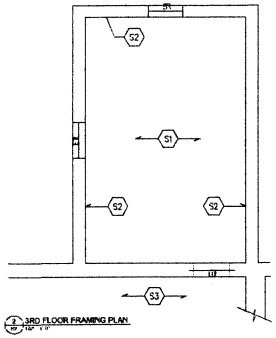
Structural plans certified as provided in Section 106.1.4.1 of the D.C. Construction Codes

STRUCTURAL NOTES

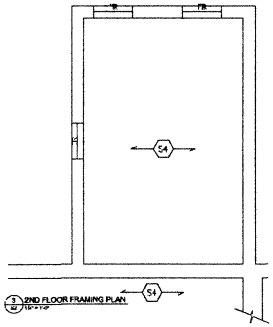
S1



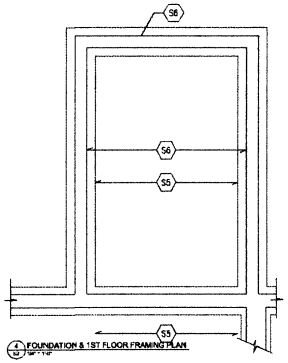
1 ROOF FRAMING & WIND BRACING PLAN



2 3RD FLOOR FRAMING PLAN



3 2ND FLOOR FRAMING PLAN



4 FOUNDATION & 1ST FLOOR FRAMING PLAN

W1 EXISTING MASONRY SHEAR WALL.

W2 EXISTING PERFORATED MASONRY SHEAR WALL.

R1 EXISTING ROOF FRAMING.

R2 EXISTING CEILING JOISTS.

R3 ATTACH EACH RAFTER TO THE WALL WITH A SIMPSON H2.5A.

R4 ATTACH EACH EXISTING RAFTER TO THE BEAM WITH A SIMPSON L50 ON EACH SIDE.

R5 ATTACH THE 1ST STUD TO THE EXISTING HOME WITH $\frac{1}{2}$"ø EPOXY BOLTS AT 24" O.C.

R6 PT2x10 CLEAT WITH $\frac{1}{2}$"ø EPOXY BOLTS AT 32" O.C. TOP AND BOTTOM STAGGERED.

S1 SISTER EACH EXISTING CEILING JOIST WITH A 2X10. ATTACH THE SISTER TO THE EXISTING JOIST WITH (2)10d NAILS AT 8" O.C. THE SISTER MAY STOP 1" SHORT OF THE MASONRY WALL ON EACH SIDE OF THE HOME.

S2 PLACE A TREATED 2X6 SILL PLATE ON TOP OF THE EXISTING WALL WITH $\frac{1}{2}$"ø EPOXY BOLTS AT 48" O.C.

S3 EXISTING 3RD FLOOR FRAMING TO REMAIN.

S4 EXISTING 2ND FLOOR FRAMING TO REMAIN.

S5 EXISTING 1ST FLOOR FRAMING TO REMAIN.

S6 EXISTING FOUNDATION WALL FOOTING. THE EXISTING WALL AND FOOTING IS UNCHANGED AND CAN SAFELY SUPPORT THE WEIGHT OF THE EXISTING HOME AND THE PROPOSED RENOVATION.

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REVIEW	10/11/17
PERMIT	–
BID	–
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FOUNDATION & FRAMING PLANS

S2